

LONDON BOROUGH OF ENFIELD

PLANNING COMMITTEE

Date : 18 October 2016

Report of
Assistant Director,
Planning, Highways &
Transportation

Contact Officer:
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Andy Bates Tel: 020 8379 3841
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Ward: Chase

Application Number : 16/00656/CND

Category: Minor

LOCATION: Orchardside Nurseries, Bullsmoor Lane, Enfield, EN1 4RL

PROPOSAL: Details for Materials (4), Access (5), Hard surfacing (6), Enclosure (8), Lighting (9) Archaeology (15), foundations (16), Tree protection (18), Vegetation clearance (19), Bream (20), Energy (21), Renewable energy (22), Construction management plan(23), Traffic management plan(27), Refuse (29) and Site waste management plan (30) submitted pursuant to 15/01788/RE4 for the demolition of existing bungalow and horticultural glasshouses and erection of a single storey Secondary Tuition Centre (D1 use) for up to 100 pupils with associated car parking, multi use games areas at rear and associated landscaping.

Applicant Name & Address:
Andrew Fraser
School & Children's Service
London Borough of Enfield
PO Box 51
Civic Centre
Silver Street
EN1 3XA

Agent Name & Address:
R Holland
BHP Architects
Nicholas House
Riverfront
Enfield
EN1 3TF

RECOMMENDATION:

It is recommended that the details are Agreed.

1. Site and Surroundings

- 1.1 The site comprises an area of 0.85ha of land with two distinct elements: a former horticultural unit occupied by vacant glasshouses (Orchardside Nursery), and a residential bungalow sited in the north-west corner. The glasshouses extend along the majority of the site and the entire site is covered in hardstanding. The bungalow, which has previously been extended to the rear and into the roof space, is completely enclosed by boundary vegetation.
- 1.2 To the east is Capel Manor Primary. The school buildings are located towards the eastern side of the site. To the west and south of the site are the playing fields which form the Bullsmoor Open Space. On the opposite side of Bullsmoor Lane is the Capel Manor estate. Views into the estate are limited by the high brick wall, some fencing and a screen of mature vegetation.
- 1.3 The site sits within the Forty Hill Conservation Area and the Metropolitan Green Belt.

2. Proposal

- 2.1 Details for Materials (4), Access (5), Hard surfacing (6), Enclosure (8), Lighting (9) Archaeology (15), foundations (16), Tree protection (18), Vegetation clearance (19), Breeam (20), Energy (21), Renewable energy (22), Construction management plan(23), Traffic management plan (27), Refuse (29) and Site waste management plan (30) submitted pursuant to 15/01788/RE4 for the demolition of existing bungalow and horticultural glasshouses and erection of a single storey Secondary Tuition Centre (D1 use) for up to 100 pupils with associated car parking, multi-use games areas at rear and associated landscaping.

3. Relevant Planning Decisions

- 3.1 15/01788/RE4 - Demolition of existing bungalow and horticultural glasshouses and erection of a single storey Secondary Tuition Centre (D1 use) for up to 100 pupils with associated car parking, multi-use games areas at rear and associated landscaping – granted with conditions on 12 November 2015.

4. Consultations

4.1 Statutory and non-statutory consultees

Conservation Officer

- 4.1.1 Objections are raised in relation to the proposed glazing for the hall.

Environmental Health

- 4.1.2 Objections are raised because there is no dust control documents written in accordance with the 'Mayor of London's Best Practice Guidance'.

Conservation Advisory Group

- 4.1.3 The Group objects to the proposed hall glazing.
- 4.1.4 Any additional comments received will be reported at committee.

4.2 Public

- 4.2.1 None.

5. Relevant Policy

5.1. The London Plan

- Policy 3.16 Protection and enhancement of social infrastructure
- Policy 3.18 Education facilities
- Policy 5.1 Climate change mitigation
- Policy 5.2 Minimising carbon dioxide emissions
- Policy 5.3 Sustainable design and construction
- Policy 5.5 Decentralised energy networks
- Policy 5.6 Decentralised energy in development proposals
- Policy 5.7 Renewable energy
- Policy 5.8 Innovative energy technologies
- Policy 5.9 Overheating and cooling
- Policy 5.10 Urban greening
- Policy 5.11 Green roofs and development site environs
- Policy 5.12 Flood risk management
- Policy 5.13 Sustainable drainage
- Policy 5.14 Water quality and wastewater infrastructure
- Policy 5.15 Water use and supplies
- Policy 5.16 Waste net self-sufficiency
- Policy 5.18 Construction, excavation and demolition waste
- Policy 5.21 Contaminated land
- Policy 6.3 Assessing the effects of development on transport capacity
- Policy 6.7 Better streets and surface transport
- Policy 6.9 Cycling
- Policy 6.10 Walking
- Policy 6.11 Smoothing traffic flow and tackling congestion
- Policy 6.12 Road network capacity
- Policy 6.13 Parking
- Policy 7.1 Lifetime neighbourhoods
- Policy 7.2 An inclusive environment
- Policy 7.3 Designing out crime
- Policy 7.4 Local character
- Policy 7.5 Public realm
- Policy 7.6 Architecture
- Policy 7.8 Heritage assets and archaeology
- Policy 7.13 Safety, security and resilience to emergency
- Policy 7.14 Improving air quality
- Policy 7.15 Reducing noise and enhancing soundscapes
- Policy 7.16 Green Belt
- Policy 7.19 Biodiversity and access to nature
- Policy 7.21 Trees and woodlands

5.2. Core Strategy

- CP8: Education

- CP9: Supporting community cohesion
- CP11: Recreation, leisure, culture and arts
- CP16: Taking part in economic success and improving skills
- CP20: Sustainable energy use and energy infrastructure
- CP21: Delivering sustainable water supply, drainage and sewerage infrastructure
- CP22: Delivering sustainable waste management
- CP24: The road network
- CP25: Pedestrians and cyclists
- CP26: Public transport
- CP28: Managing flood risk through development
- CP30: Maintaining and improving the quality of the built and open environment
- CP31: Built and landscape heritage
- CP32: Pollution
- CP33: Green Belt and countryside
- CP36: Biodiversity

5.3. Development Management Document

- DMD10 Distancing
- DMD16 Provision of New Community Facilities
- DMD17 Protection of Community Facilities
- DMD37 Achieving High Quality Design-Led Development
- DMD38 Design Process
- DMD42 Design of Civic / Public Buildings and Institutions
- DMD44 Conserving and Enhancing Heritage Assets
- DMD45 Parking Standards
- DMD47 Access, New Roads and Servicing
- DMD48 Transport Assessments
- DMD49 Sustainable Design and Construction Statements
- DMD50 Environmental Assessment Methods
- DMD51 Energy Efficiency Standards
- DMD52 Decentralised Energy Networks
- DMD53 Low and Zero Carbon Technology
- DMD54 Allowable Solutions
- DMD55 Use of Roof Space / Vertical Surfaces
- DMD56 Heating and Cooling
- DMD57 Responsible Sourcing of Materials
- DMD58 Water Efficiency
- DMD59 Avoiding and Reducing Flood Risk
- DMD60 Assessing Flood Risk
- DMD61 Managing Surface Water
- DMD62 Flood Control and Mitigation Measures
- DMD64 Pollution Control and Assessment
- DMD65 Air Quality
- DMD66 Land Contamination and Instability
- DMD68 Noise
- DMD69 Light Pollution
- DMD70 Water Quality
- DMD78 Nature Conservation
- DMD79 Ecological Enhancements
- DMD80 Trees on Development Sites
- DMD81 Landscaping
- DMD82 Protecting the Green Belt

DMD84 Areas of Special Character
DMD89 Previously Developed Sites in the Green Belt

5.4. Other Relevant Policy Considerations

National Planning Policy Framework
National Planning Practice Guidance
Enfield Characterisation Study
Forty Hill Conservation Area Character Appraisal (2015)

6. **Analysis**

- 6.1.1 Members are aware that there is a statutory requirement (not just a policy requirement) for developments affecting heritage assets to be assessed against the harm to that asset. Sections 66 and 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 (“Listed Buildings Act”) confirm that special attention shall be paid to the desirability of preserving a listed building or its setting (s.66) and preserving or enhancing the character or appearance of that area (s.72). Where harm is identified, it must be given considerable importance and weight.
- 6.1.2 Section 12 of the National Planning Policy Framework (“NPPF”) (Conserving and enhancing the historic environment) advises LPAs to recognise heritage assets as an “*irreplaceable resource*” and to “*conserve them in a manner appropriate to their significance*” (para. 126).
- 6.1.3 When determining planning applications, LPAs are advised to take into account of:
- “*the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;*
 - *the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and*
 - *the desirability of new development making a positive contribution to local character and distinctiveness*” (para.131)
- 6.1.4 Paragraph 132 confirms that it is the significance of the heritage asset upon which a development proposal is considered and that “*great weight should be given to the asset’s conservation*”. Proposals that lead to substantial harm or loss to a designated heritage asset should be refused unless it can be demonstrated that the substantial harm or loss is necessary to achieve substantial public benefits that outweigh the harm or loss, or it meets with the tests identified at paragraph 133. Where a development will lead to less than substantial harm, the harm is to be weighed against the public benefits of the proposal, including securing its optimum viable use (para. 134).
- 6.1.5 In addition, at paragraph 137, LPAs are also advised to look for opportunities for new developments within conservation areas and within the setting of heritage assets to better reveal their significance. Where a proposal preserves those elements of the setting that make a positive contribution to or better reveal the significance of the asset should be treated favourably.
- 6.2 Condition 4: Materials

- 6.2.1 The applicant has applied to discharge this condition in part because the remaining details have not been finalised. The materials had been indicated on the main application (ref: 15/01788/RE4) and were largely considered acceptable. However, with regard to the fenestration, greater detail was required as the submitted plans were not of a sufficient scale. The main issue centres on the proposed glazing for the hall, a double-height building at the front of the site.
- 6.2.2 With regard to the hall windows, it is proposed that Velfac 200 Series double glazed wood/aluminium composite windows are employed. This will result in the glazing being interrupted by two transoms and six mullions of approximately 108mm width. The panels of glazing would be 2.24m height x 1.785m in width.
- 6.2.3 Alternative glazing systems have been investigated in light of the objection received by CAG. These include:
- a) Kawneer curtain walling: The glazing will again be interrupted by two transoms and six mullions of approximately 100mm width. Glass panels would be 2.25m x 1.782m. The additional cost to the scheme is £12,000.
 - b) SAPA curtain walling: The glazing will again be interrupted by two transoms and six mullions of approximately 104mm width. Glass panels would be 2.25m x 1.782m. The additional cost to the scheme is £11,000.
 - c) SCHUCO Structural System (Option1): The glazing will be glass to glass joint with a 20mm black silicone strip visible. The glazing will again be interrupted by two transoms and six mullions. Glass panels would be 2.24m x 1.785m. The additional cost to the scheme is £36,000.
 - d) SCHUCO Structural System (Option2): The glazing will be glass to glass joint with a 20mm black silicone strip visible. This will result in the glazing being interrupted by one transom and six mullions. Glass panels would be 3.37m x 1.785m. The additional cost to the scheme is £56,000.
- 6.2.4 The option which has the least visible impact is the SHUCO Option 2 however the applicant has advised that the additional cost is prohibitive and has not been accounted for.
- 6.2.5 The Velfac system proposed will be the most visible but the difference between this system, the Kawneer and SAPA are so negligible in terms of the overall width of the framing that members are advised to disregard these two additional options because neither would achieve the desired effect. The only option that would clearly do so is the SCHUCO (option 2) system because of the use of silicone strips and the single transom.
- 6.2.6 Modern, contemporary buildings in a conservation area are acceptable providing that the materials used are of a very high design and quality. The materials to be used on the hall is of considerable importance to the overall acceptability of the scheme as it is the most visible building by design and siting. The appearance of thicker framing will have a more visible impact than the SCHUCO options but whilst it is considered that the proposed Velfac system does not provide the highest quality solution, it is also considered that the use of the Velfac system will not result in substantial harm because the

overall improvement to this part of the conservation area through the removal of the former glasshouses and bungalow and the introduction of a modern building with clean building lines enhances the conservation area. However, the overall appearance is impacted and for this reason, it is considered that any harm arising from the use of the Velfac system is “less than substantial”.

- 6.2.7 With the level of harm being determined, consideration must therefore be given to any public benefits that may exist to outweigh the identified harm. The applicant, as discussed above, has advised that the additional cost (£56,000.00) to the overall scheme has not been accounted for and there is no additional money in the overall project budget.
- 6.2.8 The impact of costs on a publicly funded development is considered to have considerable weight and would have a detrimental impact on the viability of the project and therefore compromise the role of the borough in providing a much needed educational facility to meet the specific needs of a particular group of students. No other justification is provided, however it is considered that the economic argument is sufficient to outweigh the less than substantial harm identified.
- 6.2.9 It should be noted that attempts to compromise, such as by focussing the financial resources on the hall glazing and using an alternative glazing system on the remaining elevations of the school building, was not successful because orders had already been placed for the windows. In addition, it has also been advised that it would not be possible to use the thicker framing but with a single transom.
- 6.2.10 A sample of the Siberian Larch cladding has previously been submitted and is considered acceptable.
- 6.2.11 All other details are considered acceptable.

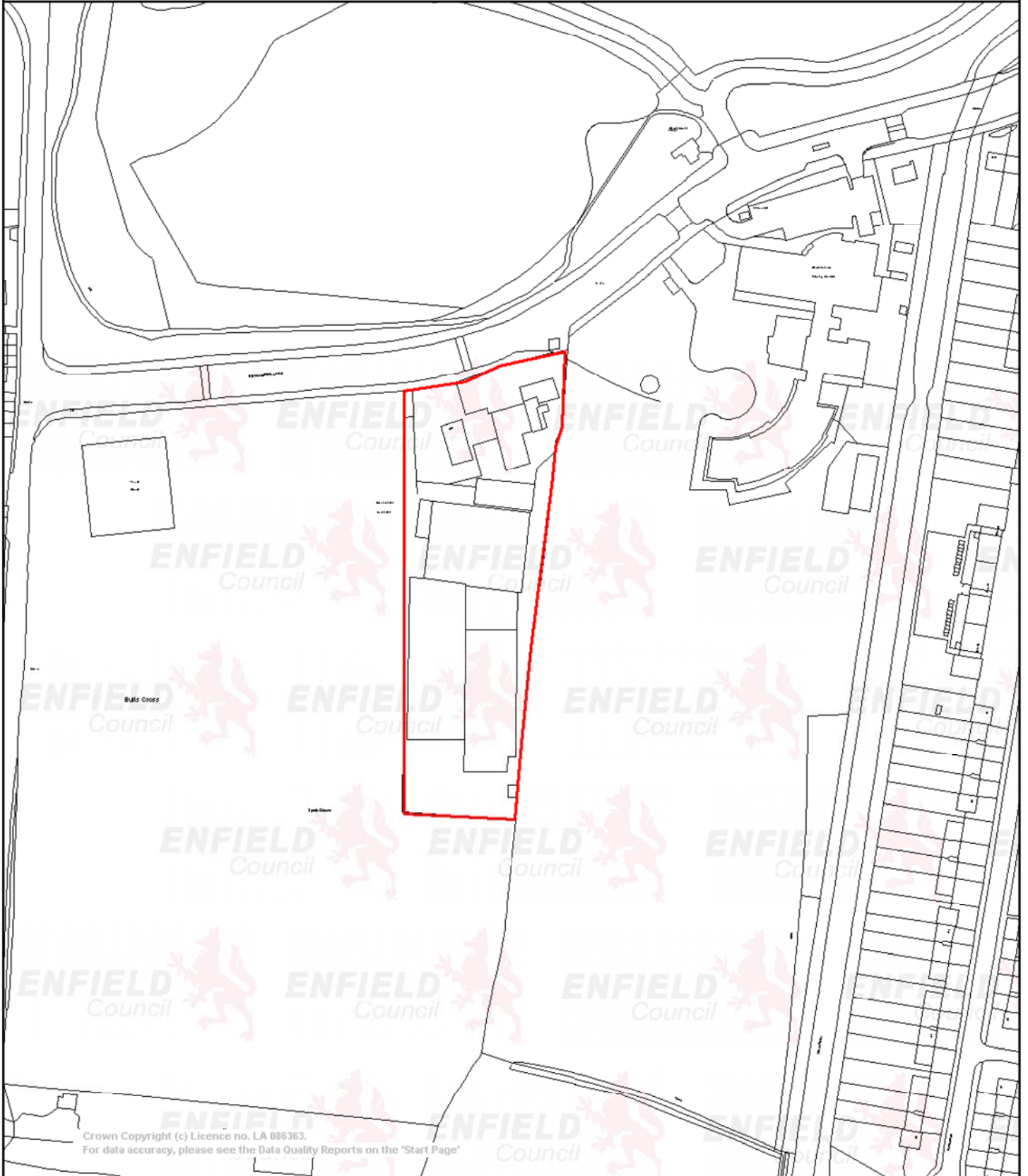
7 Conclusion

- 7.1 Although not ideal, the use of the Velfac glazing system must be weighed against the financial position of the scheme. As discussed above, the project budget has not allowed for any additional costs and this must be weighed against the public benefit of the development as a whole. On balance, it is considered that in this instance the public benefit does outweigh the identified harm to the heritage asset and the condition should be discharged in part.
- 7.2 With regard to all other conditions, the details submitted are considered acceptable and they should be approved.

8 Recommendation

- 8.1 That details pursuant to Conditions 4 (in part), Access (5), Hard surfacing (6), Enclosure (8), Lighting (9) Archaeology (15), foundations (16), Tree protection (18), Vegetation clearance (19), Breeam (20), Energy (21), Renewable energy (22), Construction management plan(23), Traffic management plan(27), Refuse (29) and Site waste management plan (30) are **Agreed**

16/00656/CND Orchardside Nurseries



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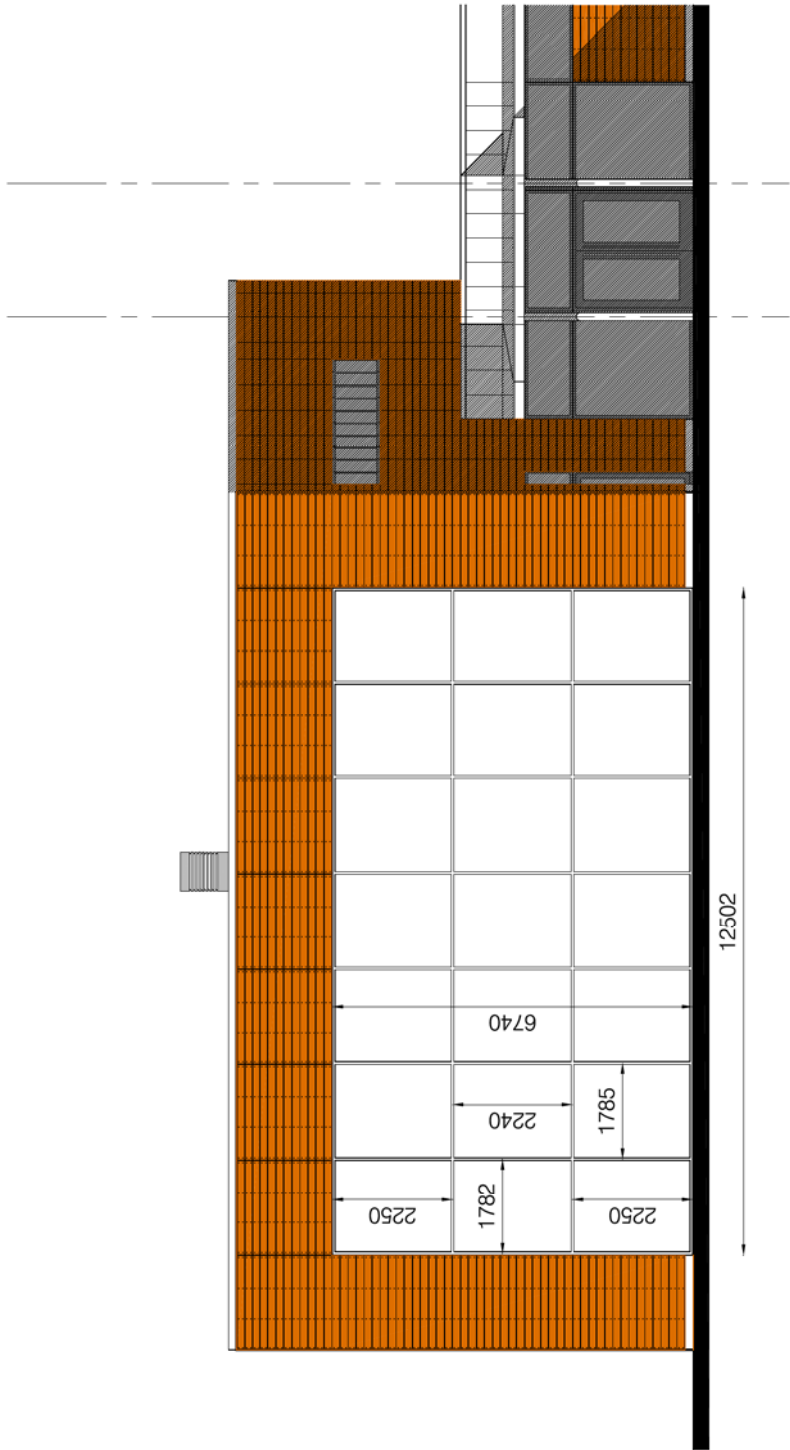


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Scale 1/2000 Date 6/10/2016

Centre = 534476 E 199446 N

GENERAL NOTES:
1. All dimensions are to be called from the study. All discrepancies should be brought to the attention of the CA.



NORTH ELEVATION

802
1
LARGE HALL ELEVATION - Scale: 1:50
KAWNEER CURTAIN WALLING SYSTEM - PPC Aluminium

Rev.	Date	Description	Name
P1	13/07/16	Submission for Planning Condition detail	RH

bhp architects
Middle House River Front (Pupil Referral Unit) STP
1 + 41 02 200 200 8000 7 + 44 02 200 200 8000 + bhp@bhparchitects.com

LONDON BOROUGH OF ENFIELD
BULLSMOOR LANE SITE
STC (PUPIL REFERRAL UNIT)
N9 9PL

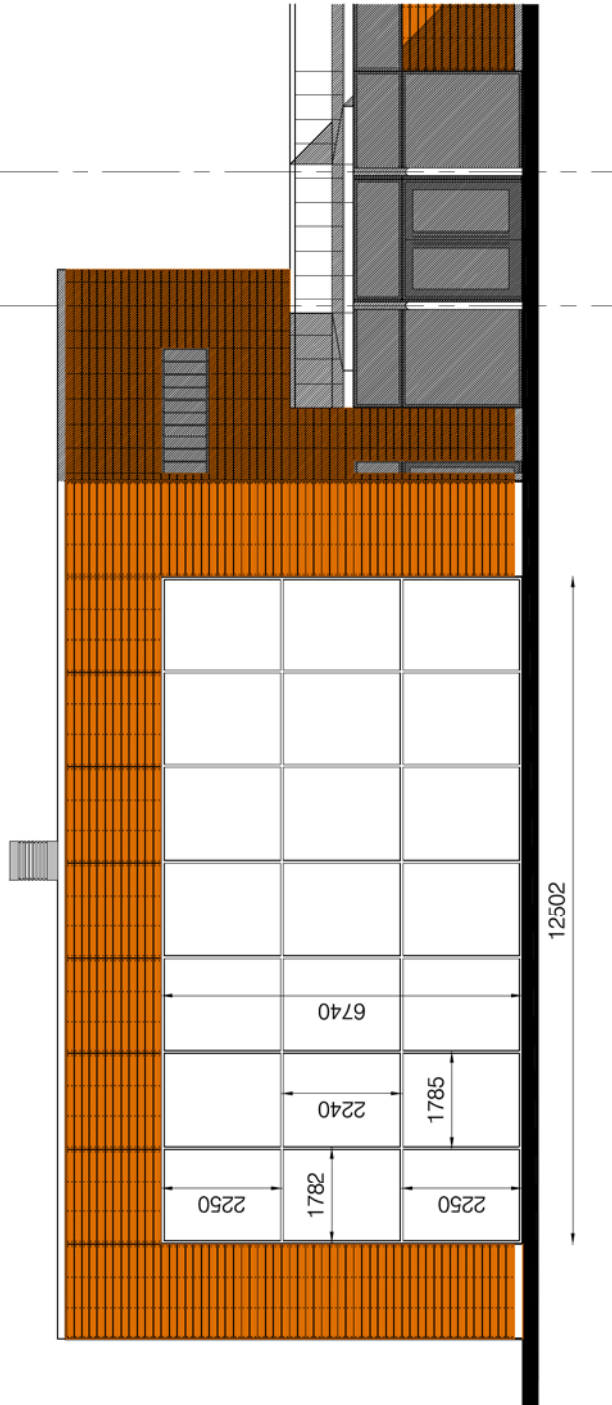
drawn	RH	13/07/2016
date	JULY 2016	1:50
		SCALE: 1:50

PART ELEVATION - LARGE HALL

KAWNEER CURTAIN WALLING

job number	706	drawing number	802	revision	P1
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GENERAL NOTES:
1. All dimensions are to be called from the center of the window, all discrepancies should be brought to the attention of the CA.



NORTH ELEVATION

803
1
LARGE HALL ELEVATION - Scale: 1:50
SAPA CURTAIN WALLING SYSTEM - PPC Aluminium

Rev.	Date	Description	Name
P1	13/07/16	Submission for Planning Condition detail	RH

bhp architects
Middle House River Front (Pupil Referral Unit) STP
1 + 41 (0) 200 300 8000 F + 41 (0) 200 300 8000 + bhp@bhparchitects.com

LONDON BOROUGH OF ENFIELD
BULLSMOOR LANE SITE
STC (PUPIL REFERRAL UNIT)
N9 9PL

drawn	RH	by	13/07/2016
date	JULY 2016	scale	AS AT
			1:50

PART ELEVATION - LARGE HALL

SAPA CURTAIN WALLING SYSTEM

job number	706	drawing number	803	revision	P1
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GENERAL NOTES:
 1. All dimensions are to be called from the study. All discrepancies should be brought to the attention of the CA.

Rev.	Date	Description	Name
P1	13/07/16	Submission for Planning Condition detail	RH

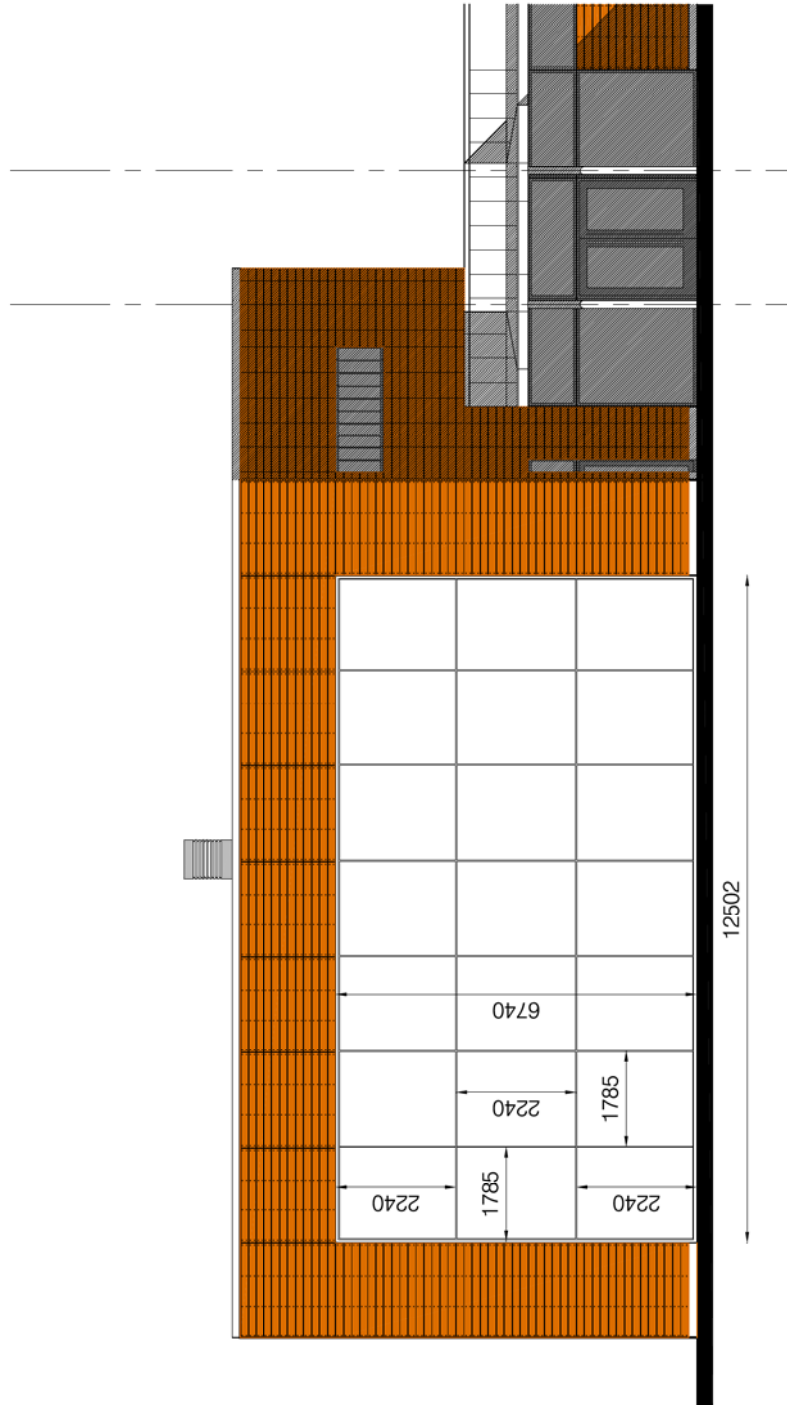
bhp architects
 Middle House River Front (Pupil Referral Unit) STP
 1 + 41 01 201 201 + 41 01 201 201 + bhparchitects.com

LONDON BOROUGH OF ENFIELD
 BULLSMOOR LANE SITE
 STC (PUPIL REFERRAL UNIT)
 N9 9PL

drawn	RH	13/07/2016
date	JULY 2016	SCALE: 1:150

PART ELEVATION - LARGE HALL
 SCHUCO STRUCTURAL SYSTEM
 OPTION 1

job number	706	drawing number	804	revision	P1
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NORTH ELEVATION

804
 1
 LARGE HALL ELEVATION - Scale: 1:150
 SCHUCO - STRUCTURAL GLAZING - Option 1

GENERAL NOTES:
 1. All dimensions are to be called from the study. All discrepancies should be brought to the attention of the CA.

Rev.	Date	Description	Name
P1	13/07/16	Submission for Planning Condition detail	RH

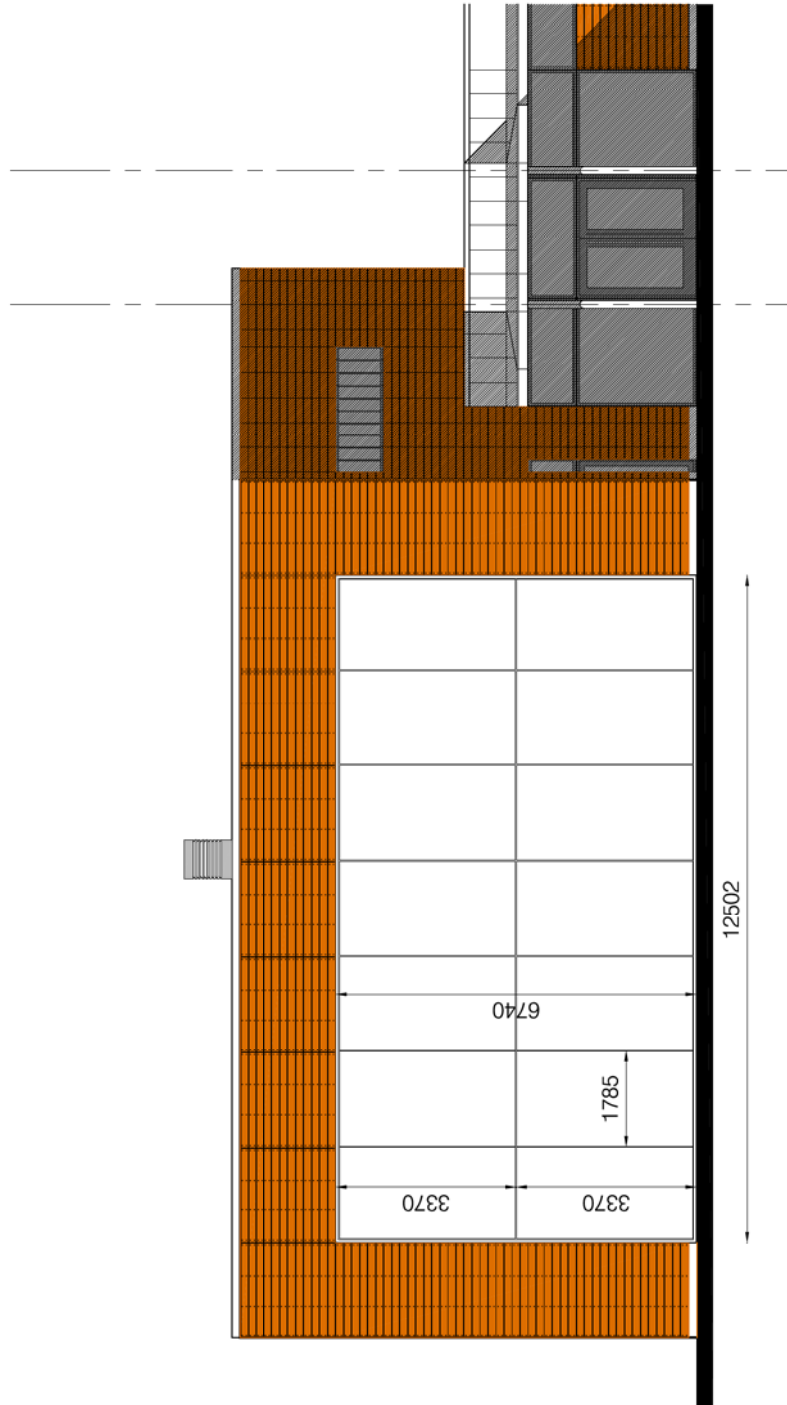
bhp architects
 Middle House River Front (Pupil Referral Unit) STP
 1 + 41 02 200 200 8000 T + 41 02 200 200 8000 + bhp@bhparchitects.com

LONDON BOROUGH OF ENFIELD
 BULLSMOOR LANE SITE
 STC (PUPIL REFERRAL UNIT)
 N9 9PL

drawn	RH	13/07/2016
date	JULY 2016	SCALE: 1:150

PART ELEVATION - LARGE HALL
 SCHUCO STRUCTURAL SYSTEM
 OPTION 2

job number	706	drawing number	805	revision	P1
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NORTH ELEVATION

805 LARGE HALL ELEVATION - Scale: 1:150
 1 SCHUCO - STRUCTURAL GLAZING - Option 2